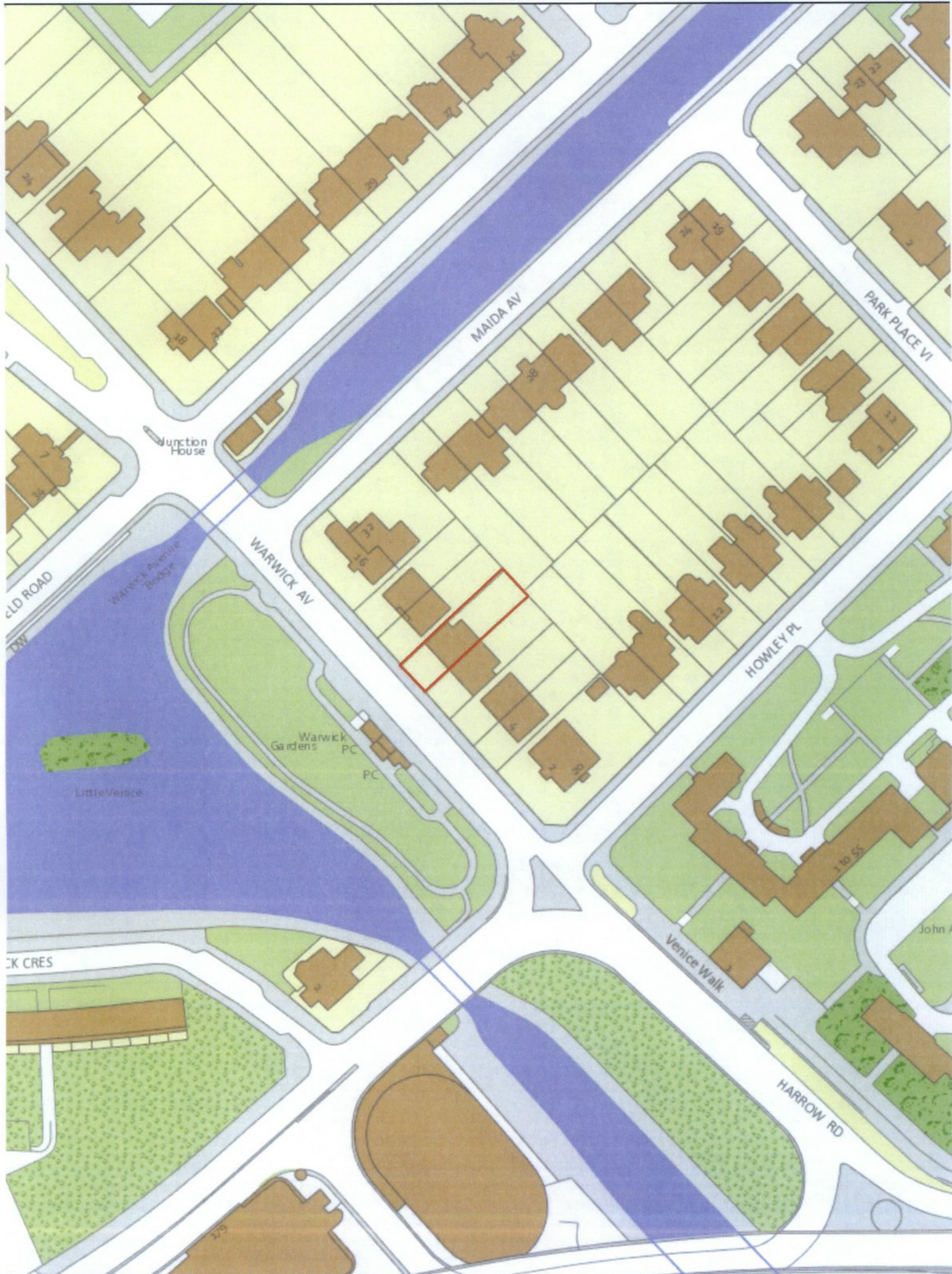


CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 10 March 2015	Classification For General Release	
Report of Operational Director Development Planning		Wards involved Little Venice	
Subject of Report	10 Warwick Avenue, London, W2 1XB		
Proposal	Excavation of basement extension below front garden, installation of glazed roof over lightwell, demolition and replacement of front garden boundary walls and railings, removal of two trees and planting of one replacement tree in front garden.		
Agent	fourfoursixsix		
On behalf of	Mr Michael Secretan		
Registered Number	14/11766/FULL 14/11767/LBC	TP / PP No	TP/21843
Date of Application	27.11.2014	Date amended/ completed	27.11.2014
Category of Application	Minor		
Historic Building Grade	Grade II Listed Building		
Conservation Area	Maida Vale		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

Refuse permission and listed building consent – adverse impact on listed building, design and trees.



City of Westminster

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10 WARWICK AVENUE, W2

2. SUMMARY

The application site is a two storey semi-detached Grade II listed building located on the eastern side of Warwick Avenue within the Maida Vale Conservation Area.

Planning permission is sought for the excavation below the front garden area of this listed building to create a basement extension. The proposal involves the roofing over of a front lightwell, the introduction of a stone balustrade within the front garden and the removal of a tree.

The main issues for consideration are:

- The impact of the proposal on the special architectural and historic interest of this Grade II listed building and the setting of neighbouring listed buildings.
- The impact of the proposal on the character and appearance of this part of the Maida Vale Conservation Area.
- The impact of the proposal on the amenities of neighbouring properties.
- The impact of the proposal in highways and parking terms.
- The impact of the proposal on trees.

Objections are raised to the roofing over of the lightwell and installation of a balustrade within the front garden, both of which would be alien features that obscure and detract from important features of the host listed building. Further concerns arise over the loss of a tree within the front garden with insufficient soil volume proposed for its replacement and the applications are recommended for refusal on these grounds.

3. CONSULTATIONS

COUNCILLOR CAPLAN

Requested the applications be heard at a Planning Applications Committee.

PADDINGTON WATERWAYS AND MAIDA VALE SOCIETY

Objected to the scheme. Raised concerns that the loss of the lightwell detracted from the appearance of the property and resulted in loss of run off. Also stated the loss of trees was unacceptable and the proposed replacement inadequate. Suggested railings should be consistent with other railings in the area.

BUILDING CONTROL

Any response will be reported verbally.

ENVIRONMENTAL HEALTH

No objection subject to conditions to control hours of building works.

HIGHWAYS PLANNING MANAGER

No objection.

ARBORICULTURAL MANAGER

Objected to the scheme on the basis of insufficient soil depth being retained over the basement. Suggested concerns over location of replacement trees could be dealt with by condition.

THAMES WATER

Offered advice on requirements for the application.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 15; Total No. of Replies: 1.

One letter of objection was received from Park Place Amenity, who agreed with comments made by Paddington Waterways and Maida Vale Society insofar as they expressed concerns with the impact of the proposal on the character of the area.

ADVERTISEMENT/SITE NOTICE: Yes.

4. BACKGROUND INFORMATION

4.1 The Application Site

The application site is a two storey semi-detached dwelling located on the eastern side of Warwick Avenue. The property is not subject to any Article 4 directions but is located within the Maida Vale Conservation Area and is a Grade II listed building.

4.2 Relevant History

There have been a number of applications for works to the front of the property. Planning permission was refused in March 2012 for the following development:

'Demolition of retaining wall and concrete stair and excavation of front garden and construction of basement extension (RNs: 11/12252/FULL and 11/12253/LBC)'.

The reasons for refusal given related to the infilling of the lightwell associated with the scheme, obscuring important features of the listed building and eroding the symmetry to the front of the site. Additional concerns were raised over the lack of detail given for the proposed alterations to the front boundary wall.

Subsequent applications for a front basement extension were approved in 2013 (RNs 12/09575/LBC and 12/09574/FULL). These applications retained the front lightwell, albeit with alterations to the staircase, with the extension infilling space under the front garden around the lightwell.

The most recent applications submitted prior to the current proposal (RNs 14/02400/FULL and 14/02401/LBC) proposed alterations similar to the scheme approved in 2013, but the lightwell was covered by a glazed roof to incorporate the lightwell into the basement level as a habitable room. These applications were refused due to the glazing over of the lightwell, removing an important feature of the host listed building. A further reason for refusal given was the lack of room and soil depth for a replacement tree to be planted on the site.

5. THE PROPOSAL

The applicant proposes to excavate under the front garden area on the property to create an extended basement level of accommodation. The proposal involves erecting a glazed rooflight over an existing lightwell in the front garden area and the creation of an opening between the lightwell and basement similar to the scheme refused in 2014 (14/02400/FULL and 14/02401/LBC). The departure from the refused application being the introduction of a stone balustrade within the front garden area with a view to screening the alterations.

6. DETAILED CONSIDERATIONS

6.1 Land Use

There are no objections in land use terms to this small increase in residential floorspace. The scheme would comply with Policies H3 of the adopted Unitary Development Plan (UDP) and S14 of Westminster's City Plan.

6.2 Townscape and Design

The application site is an extremely sensitive one, being located within the Maida Vale Conservation Area and with the host property being a Grade II listed building. With specific reference to listed buildings, Policy DES 10 of the UDP requires all applications to respect the character of host properties while Policies S28 of the City Plan and DES5 of the UDP seek a high standard of design in all new development. Policy DES 5 goes on to specifically state that objections should be raised where added floorspace is obtained by the roofing over of basement areas.

The proposal is considered to fail to meet the aims and objectives of these policies. The proposed glazed roof over the lightwell will serve to obscure views of a number of key and significant features of this handsome villa, including its pier bases. Additionally, in combination with the roof, the opening between the existing lightwell and basement extension would create an internal through room severely compromising the original plan form of the host property. Features that have traditionally formed the external frontage of the dwelling and an integral part of its setting would be replaced by internal rooms and create an external manifestation of this significant basement extension.

The applicant has pointed towards other rooflights installed in the locale in the hope of justifying the current scheme. It is acknowledged that there are examples of such glazed roofs on neighbouring listed buildings but none appear to have gained planning approval under current policy guidance and as such are looked at as examples of development that should be avoided rather than setting a template for future change. Further examples given related to non listed buildings or proposals where like for like replacements were proposed, none of which are considered sufficient to justify the current proposal.

The applicant has endeavoured to provide additional supporting information for the current application, which raises the same design concerns as the previously refused applications on the site. This involves highlighting screening from hedging to the front of the site and proposing a balustrade to the front of the lightwell offering further screening.

With regards to the screening provided by the hedge, this has been acknowledged within previous schemes. Public views would be restricted as a result of the hedge. However, such a screen may be removed without the benefit of planning permission so it does not guarantee restricted views for the lifetime of the development but also, more importantly, it is not considered acceptable to introduce unsympathetic alterations to buildings on the basis that they would be obscured from public view. To screen the development would not overcome concerns over impact on the heritage value and architectural integrity of the host listed building, with policies and legislation designed to preserve such buildings regardless of whether they are publicly visible.

Further screening is proposed through the installation of a stone balustrade, to match treatment on the adjoining property (8 Warwick Avenue). On the basis of the above, such screening is considered not to overcome concerns raised, with the additional issue that a non original feature would be introduced into the front garden that has the potential to further detract from the frontage of the property. The balustrade on No.8 Warwick Avenue appears to have gained planning approval in 2005, and permission was granted on the basis that it was being relocated from another area of the front garden. As such, the existence of this feature on No.8 Warwick Avenue alone is considered insufficient reason to justify the current scheme. The introduction of this alien feature into the front garden which would, in its own right, have the effect of obscuring some of the original features of frontage of the site and is therefore considered unacceptable.

As has been considered within previous applications, the basement extension to the front of the property, aside from the concerns outlined above, is acceptable in principle. However, due

to the roofing over the front lightwell and installation of a balustrade, the proposal is considered to detract from the character of the host property and surrounding area and to be contrary to Policies S25 and S28 of Westminster's City Plan and DES 1, DES 5, DES 9, DES 10 (A) and paras 10.108 to 10.146 of our UDP.

6.3 Residential Amenity

The alterations proposed, being primarily at or below ground floor level, are considered not to raise any concerns in terms of impact on neighbours amenities. The changes are not of a scale or location that are likely to impact on light or outlook to neighbouring properties and no concerns in terms of loss of privacy arise over the existing arrangement.

As such, the proposal is considered to comply with Policies ENV 6, ENV 10 and ENV 13 of the UDP and S29 of Westminster's City Plan.

6.4 Transportation /Highways

This proposal raises no transportation issues.

6.5 Equalities and Diversities

Not relevant in the determination of these applications.

6.6 Economic Considerations

Not relevant in the determination of these applications.

6.7 Other Westminster/UDP Policy Considerations

No further policies are relevant to the current applications.

6.8 Central Government Advice/Guidance

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of these applications are considered to be consistent with the NPPF unless stated otherwise.

6.9 London Plan

This proposal raises no strategic issues.

6.10 Planning Obligations

Not applicable.

6.11 Environmental Assessment including Sustainability and Biodiversity Issues

In terms of landscaping proposed, the proposal is similar to previous schemes in plan form, with which no concerns were raised subject to a new tree and soft landscaping to replace the loss of two existing trees (a False Acacia and Apple). It has already been agreed as acceptable within the previous approval on the site (ref: RN 12/09574/FULL) for a single replacement tree to be installed in their place.

However, objections have been raised by the Arboricultural Manager with the soil depth retained on the site. Whereas previous proposals have retained a soil depth of 1m to allow for the retention of hedging and the planting of a replacement tree, the depth has now been reduced to 80cm. Objections are raised that this soil depth is not sufficient for replacement planting and landscaping and the proposal is therefore considered to conflict with Policies ENV 4 and ENV 16 of the UDP.

6.12 Other Matters

Excavation of Proposed Basement

The principle of the basement extension has been considered acceptable within three previous applications on the property, with issues arising primarily restricted to the design of the scheme and impact on trees. Since the most recent refusal, the Council has adopted its SPD 'Basement Development in Westminster'. The current scheme, aside from the issues of soil depth raised above, is considered to meet the aims and objectives of the SPD. A Traffic Management Plan and Construction Method Statement have been submitted with the applications and no objections have been raised by local residents on these grounds.

6.13 Conclusion

Because of their design and location, the glazed rooflight over the front lightwell and stone balustrade would obscure and detract from important features of this Grade II listed building. The scheme is therefore considered to detract from the architectural character and integrity of the host property and the appearance of both the host property and surrounding area. In proposing insufficient soil depth the scheme would not be able to provide sufficient replacement planting for the loss of two prominent trees. The scheme would therefore conflict with Policies S25 and S28 of Westminster's City Plan and DES 1, DES 5, DES 9, DES 10 (A), ENV 16 and paras 10.108 to 10.146 of the UDP.

BACKGROUND PAPERS

1. Application forms.
2. Comments from Paddington Waterways and Maida Vale Society dated 15 January 2015.
3. Memorandum from Highways Planning Manager dated 10 December 2014.
4. Memorandum from Environmental Health dated 13 January 2015.
5. Memorandum from Arboricultural Manager dated 6 January 2015.
6. Email from Thames Water dated 18 December 2014.

7. Email from occupier of 24 Maida Avenue W2 dated 30 January 2015
8. Email from Councillor Melvyn Caplan dated 30 January 2015.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT NATHAN BARRETT ON 020 7641 5943 OR BY E-MAIL – nbarrett@westminster.gov.uk

DRAFT DECISION LETTER

Address: 10 Warwick Avenue, London, W2 1XB

Proposal: Excavation of basement extension below front garden, installation glazed roof over lightwell, demolition and replacement of front garden boundary walls and railings, removal of two trees and planting of one replacement tree in front garden.

Plan Nos: Design and Access Statement, Construction Method Statement, Supplementary Report on Conservation, Development and Planning, Heritage Assessment, Letter from Tim George (Tree Services Limited), GA150 rev X, GA151 rev X, GA160 rev X, GA161 rev X, GA162 rev X, GA200, GA201, GA300, GA301 rev X, GA400, GA401, D500 rev X, GA101 rev X, GA120, GA120A, GA121, GA121A, GA130A, GA130, GA131, GA131A, GA140, GA141, GA100 rev X, V800 and V801.

Case Officer: Matthew Rees

Direct Tel. No. 020 7641 6248

Recommended Reason(s) for Refusal:

- Reason:**
- 1 Because of their design and prominent location; the glazed roof over the front lightwell and stone balustrade would harm the character, appearance and architectural integrity of this grade 2 listed building. It would also fail to maintain or improve (preserve or enhance) the character and appearance of the Maida Vale Conservation Area. This would not meet S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 5, DES 9, DES 10 (A) and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007.

Reason:

 - 2 Because of the lack of room and soil depth provided above the new basement, the proposal would be incapable of providing a suitable replacement tree and planting, to offset the loss of 2 existing trees and landscaping which is considered to be important to the character and setting of the grade 2 listed building and surrounding Maida Vale Conservation Area. This would not meet ENV16 of our Unitary Development Plan that we adopted in January 2007.

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way so far as practicable. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service. However, we have been unable to seek solutions to problems as the principle of the proposal is clearly contrary to our statutory policies and negotiation could not overcome the reasons for refusal.

DRAFT DECISION LETTER

Address: 10 Warwick Avenue, London, W2 1XB

Proposal: Part removal of an internal wall on the lower ground floor, between the kitchen and hallway; construction of a new room under the front garden and a recessed glazed canopy to the exiting lightwell and removal of two trees and replaced by a new specimen tree.

Plan Nos: Design and Access Statement, Construction Method Statement, Supplementary Report on Conservation, Development and Planning, Heritage Assessment, Letter from Tim George (Tree Services Limited), GA150 rev X, GA151 rev X, GA160 rev X, GA161 rev X, GA162 rev X, GA200, GA201, GA300, GA301 rev X, GA400, GA401, D500 rev X, GA101 rev X, GA120, GA120A, GA121, GA121A, GA130A, GA130, GA131, GA131A, GA140, GA141, GA100 rev X, V800 and V801.

Case Officer: Matthew Rees

Direct Tel. No. 020 7641 6248

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Mike Secretan

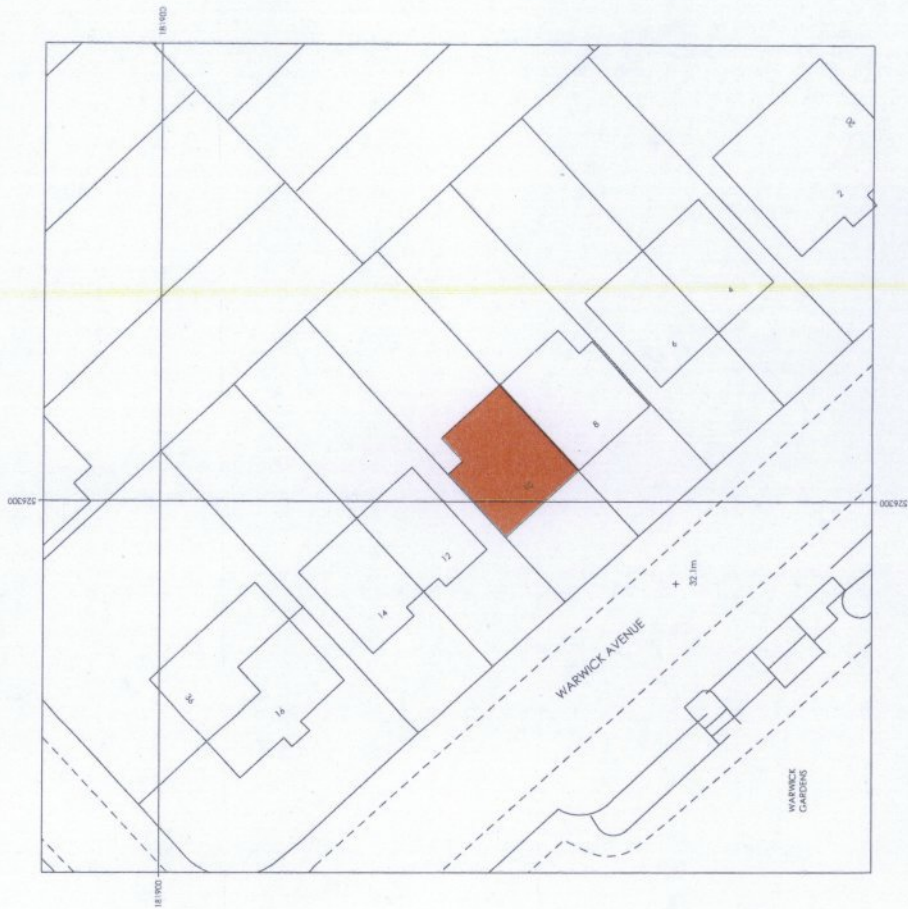
Contact: Mike Secretan
Phone: +44 (0) 20 7329 3040

Project Architect:

fourfour'sixsix

Contact: David Williams
Email: david@fourfour'sixsix.com

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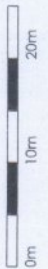
SITE PLAN
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Project: 10 Warwick Avenue
Location: LONDON, UK
Status: CONCEPT
Project No.: 116
Drawing Title: SITE PLAN
Drawing No.:

GA 101

Date	Scale @ A3	Rev
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Client
 Mike Secretan
 10 Warwick Avenue
 London, W1B 5AH
 +44 (0) 20 7322 2660
 msecretan@fourfour'six.com

Project Architect
 fourfour'six
 333, John Street
 London, EC4A 3DF
 +44 (0) 20 7322 2660
 +44 (0) 845 95 5000
 info@fourfour'six.com

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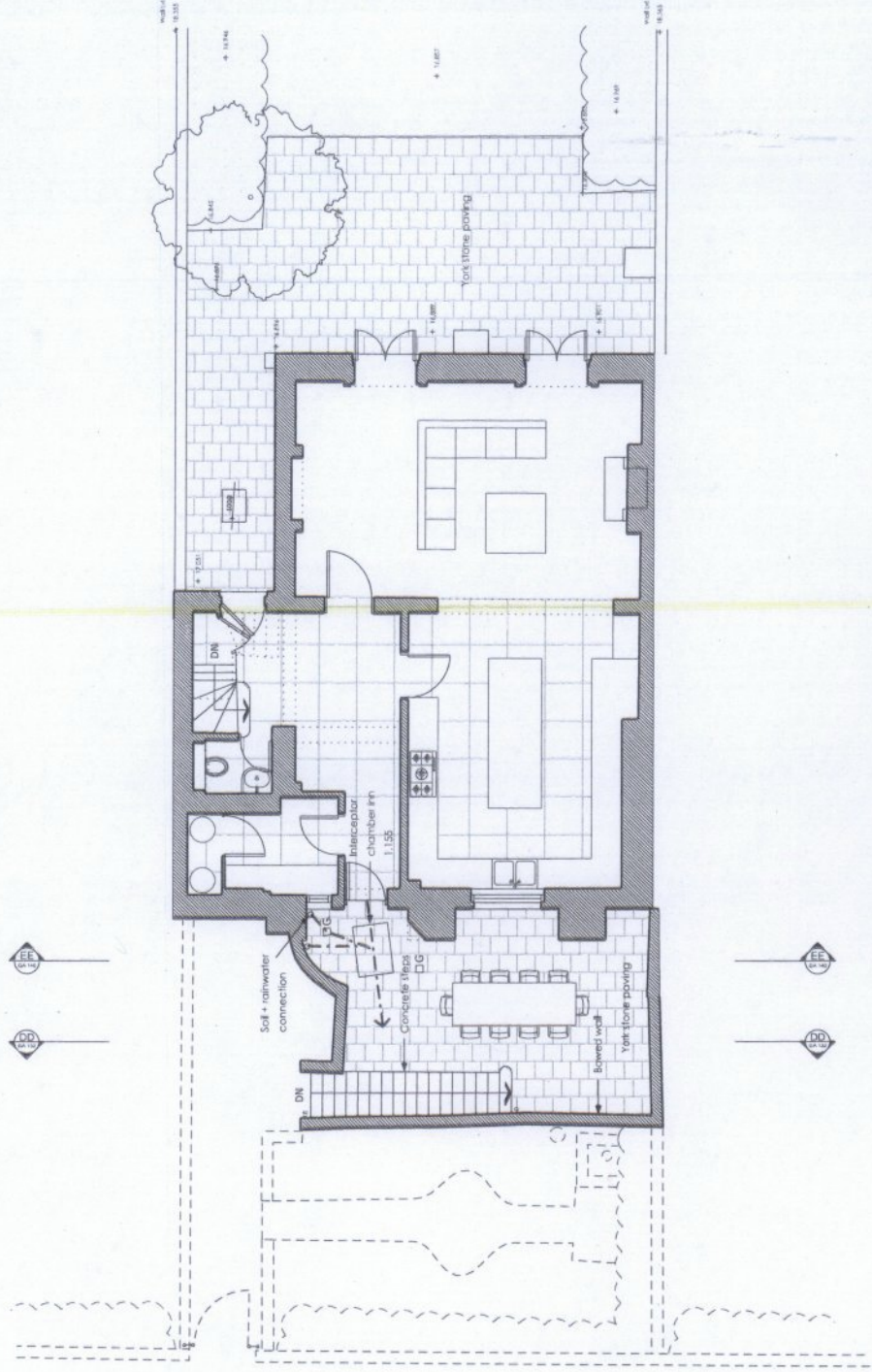
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Project: 10 Warwick Avenue
Location: LONDON, UK
Status: CONCEPT
Project No.: 116
Drawing Title: EXISTING LOWER GROUND FLOOR PLAN
Drawing No.: GA 121

GA 121

Date: 07/10/2014
 Scale @ A3: 1:100
 Rev: 1

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EXISTING
 Lower Ground Floor Plan

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Client

Mike Secretan

0777 4 326 300
 msecretan@fourfour'sixsix.com

Project Architect

fourfour'sixsix

0207 432 2040
 info@fourfour'sixsix.com

Unit 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

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 Location:
 LONDON, UK

Status:
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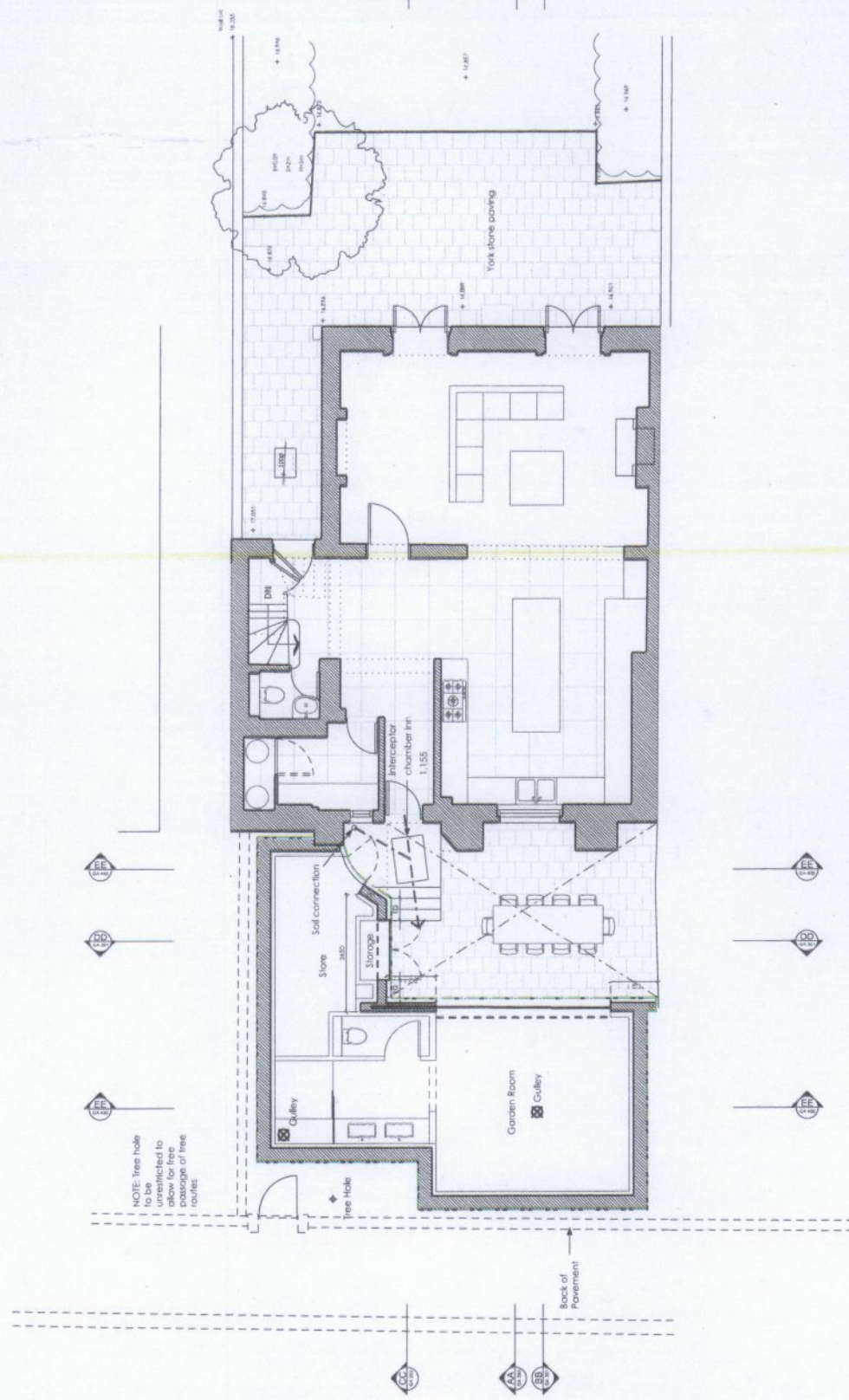
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 116

Drawing Title
 LOWER GROUND FLOOR PLAN

Drawing No.

GA 201

Date
 07/10/2014
 Scale @ A3
 1:100
 Rev



NOTE: Tree hole
 to be
 provided to
 allow for tree
 passage of free
 routes.

PROPOSED
 Lower Ground Floor Plan

--- Line of concealed scheme 12/09574/FULL

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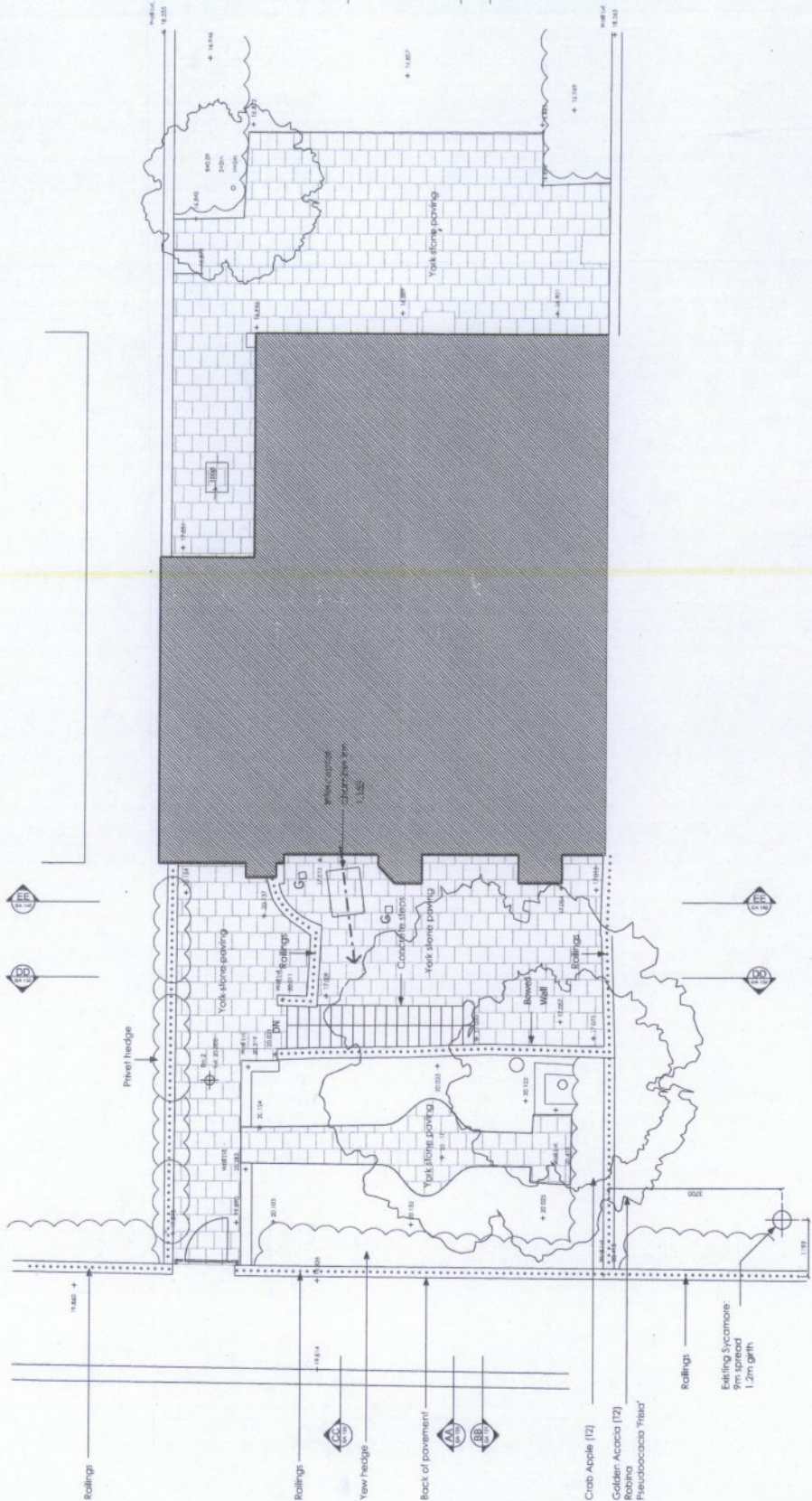
Mike Secrestin

Company: Mike Secrestin
 Email: m.secrestin@fourfoursixsix.com

Project Architect

fourfoursixsix

Company: fourfoursixsix
 Email: info@fourfoursixsix.com



EXISTING
 Ground Floor Plan

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Project: 10 Warwick Avenue
Location: LONDON, UK
Status: CONCEPT
Project No.: 116
Drawing Title: EXISTING GROUND FLOOR PLAN
Drawing No.:

GA 120

Date	Scale	Rev
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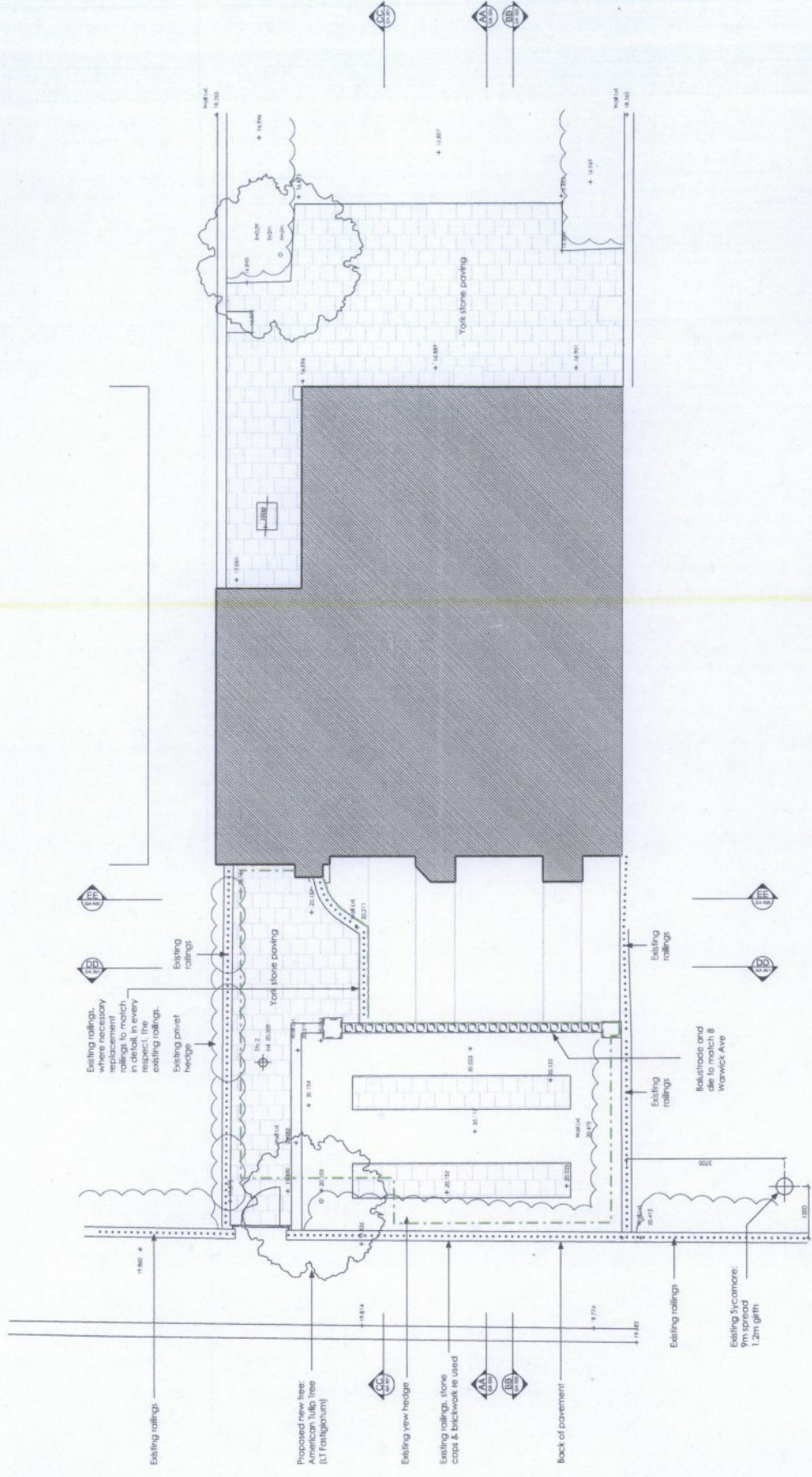
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Client:
Mike Secretan
Contact: Mike Secretan
Email: mike@fourfoursix.com

Project Architect:
fourfoursix
Contact: David Leatham
Email: david@fourfoursix.com

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PROPOSED
Ground Floor Plan

--- Line of concentrated scheme 12/09/14/FULL



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Project: 10 Warwick Avenue
Location: LONDON, UK
Status: CONCEPT
Project No.: 116
Drawing Title: GROUND FLOOR PLAN
Drawing No.:

GA 200

Date: 07/10/2014
Scale @ A3: 1:100
Rev: 1

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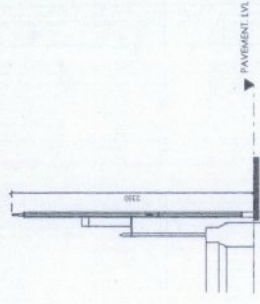
Mike Secretan

Contact: 020 7323 2600
 Email: msecretan@fourfoursix.com

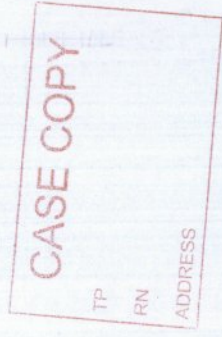
Project Architect

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EXISTING AND PROPOSED
 Section AA

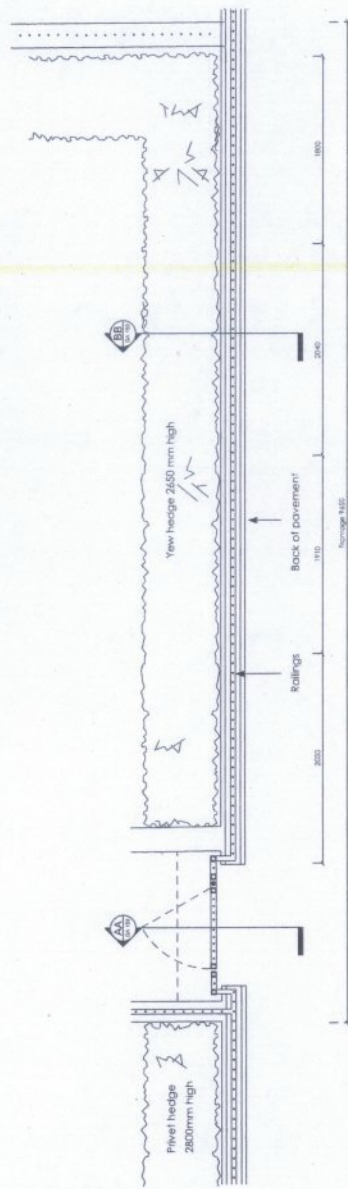


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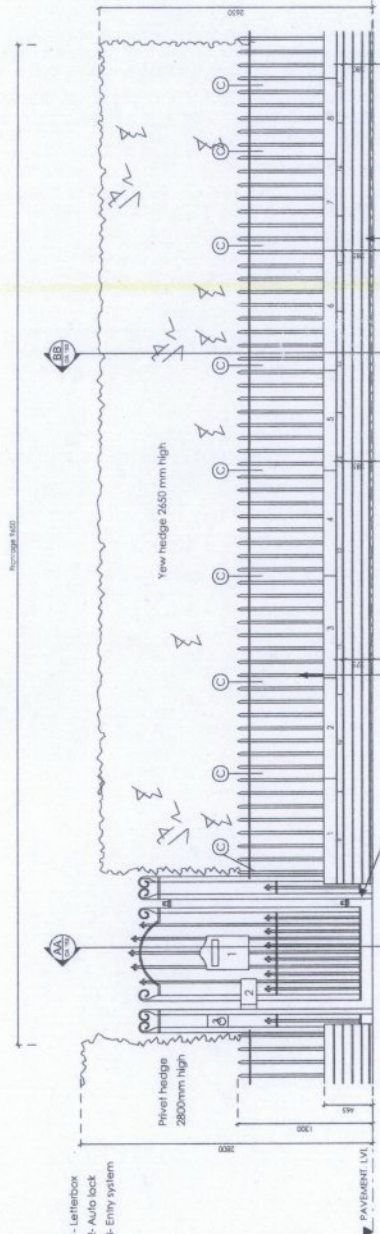
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Project No.: 116
Drawing Title: EXISTING FRONT GARDEN WALL
Drawing No.:

GA 150

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EXISTING AND PROPOSED
 Plan of front garden wall



EXISTING AND PROPOSED
 Plan of front garden wall

Brick work english garden wall bond. 3 stretches one header repeat every course with closets to maintain bond. bricks mainly yellow stocks with the odd red multi flush pointed in lime mortar

NOTE: railings not visible, concealed by the hedge

M/S Railings:
 Standards: 25 Ø
 Railings: 16 Ø
 Flat 38 x 8

Existing gate to be reinstated

Gate constructed in mild steel, corrosion treated & painted black

Denotes where flat is cut so that railings can remain connected to stone capping on temporary removal. All to be reinstated on completion of works (flat welded) in sequence shown

- 1- Letterbox
- 2- Auto lock
- 3- Entry system

41 St John Street
 London EC1M 4AN
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Note:

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Client

Mike Secretan

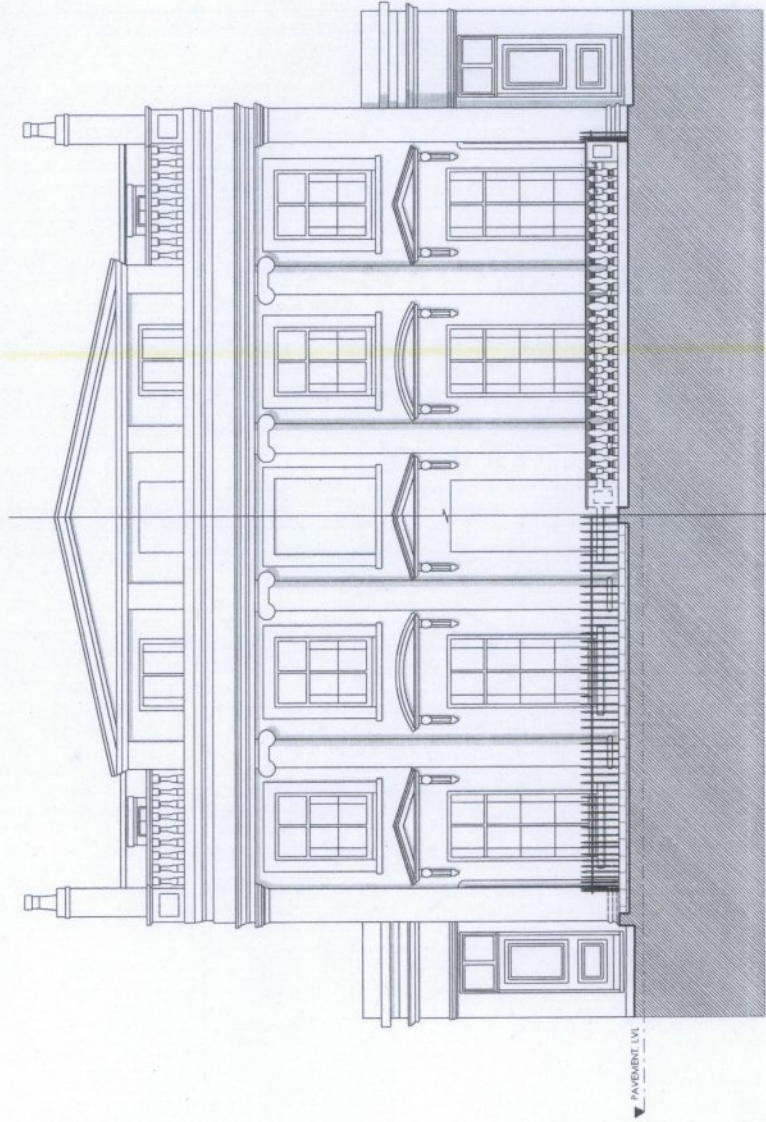
Cell: 0771 539 726
 Email: msecretan@fourfoursixsix.com

Project Architect

fourfoursixsix

Company: 0207 7322 2660
 Email: info@fourfoursixsix.com

CASE COPY
 TP RN ADDRESS



EXISTING
 Garden Elevation (shown without planting)

10 Warwick Avenue

8 Warwick Avenue

Rev	Description	Date	By	Checked
A				
B				
C				
D				
E				
F				
G				

Project: 10 Warwick Avenue
Location: LONDON, UK
Status: CONCEPT
Project No.: 116
Drawing Title: EXISTING GARDEN ELEVATION
Drawing No.:

GA 141



Date: 07/10/2014
Scale @ A3: 1:100
Rev:

43 St John Street
14 Southview 31
London EC1M 4AN
+44 (0) 20 7333 2040 +44 (0) 845 99 5000

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Client

Mike Secretan

Mobile: 0773 334 7206
E-mail: msecretan@fourfoursixsix.com

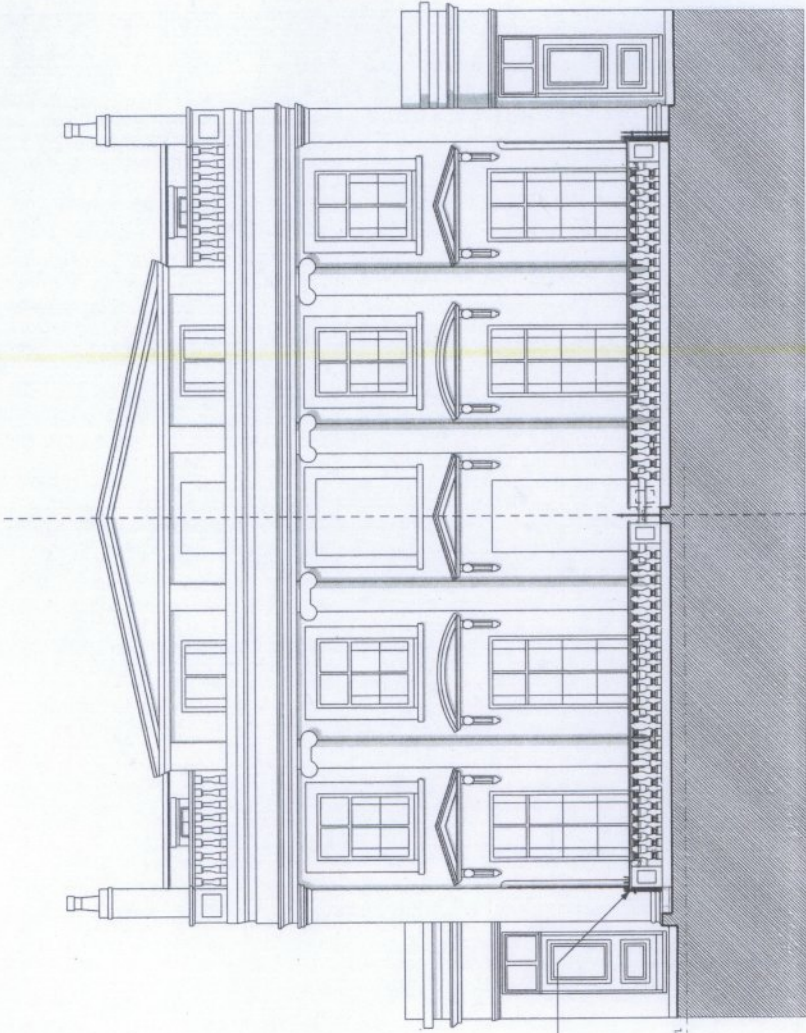
Project Architect

fourfoursixsix

Company: David Weisman
Project: 0944008@fourfoursixsix.com

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ADDRESS



Revisit the old and new railings to match 8 Warwick Ave
Spacing and detailing of railings to match those of the existing railings around the basement-area of no. 8 immediately adjacent
Railings stop short of pillar and do not make contact

PROPOSED
Garden Elevation (shown without planting)

8 Warwick Avenue

10 Warwick Avenue

Rev	Description	Date	By	Checked
A				
B				
C				
D				
E				
F				
G				

Project: 10 Warwick Avenue
Location: LONDON, UK
Status: CONCEPT
Project No.: 116
Drawing Title: GARDEN ELEVATION
Drawing No.:

GA 401

0m 5m

Date: 07/10/2014
Scale @ A3: 1:100
Rev:

45 St John Street
 London EC1A 4BN
 +44 (0) 20 7333 2040
 +44 (0) 845 97 5300

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Client
 Mike Secretlan
 0773 528 7760
 msecretlan@fourfoursixsix.com

Project Architect
 fourfoursixsix
 Company: David Neuhom
 Email: david@fourfoursixsix.com

Note:
 These retaining walls, highlighted in red, would be demolished to allow the excavation and construction of the proposed space.

All masonry bricks as possible would be retained from these existing walls.

The reclaimed bricks would then be reused to face the proposed concrete retaining structure built in the same location as these retaining walls.

The proposed concrete walls would be faced with 1/2 brick thick reclaimed stock from the original retaining wall brickwork. The bricks would be laid in cement lime sand mortar with weather shut pointing.

Note:
 The concrete steps, highlighted in red, would be demolished as this access is not required in the proposed scheme. Access for the proposed space is via the existing lower ground external door.

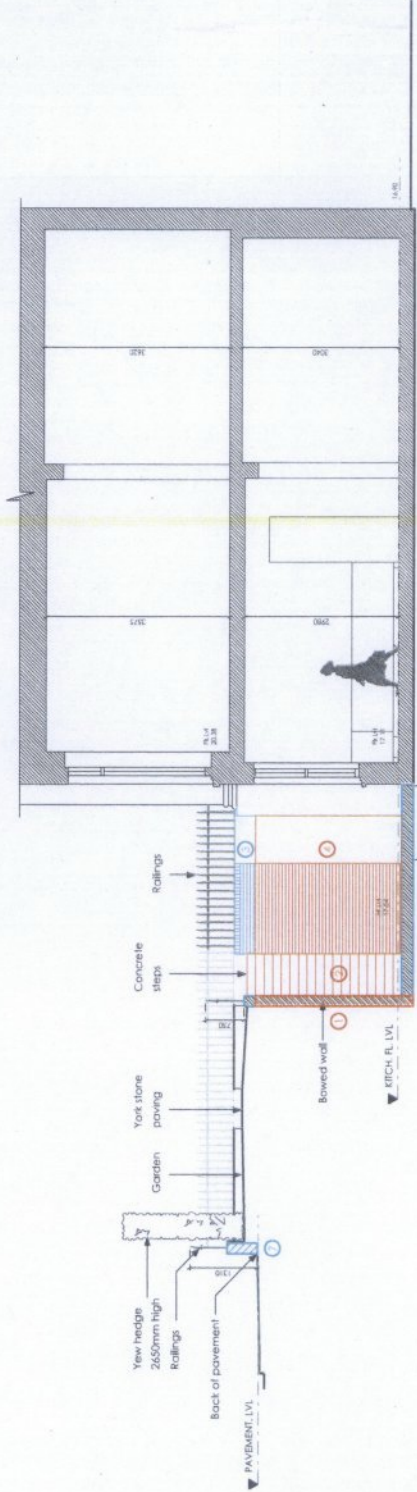
Note:
 These parapets, highlighted in blue, are constructed with impaled bricks. This would be temporarily removed and the bricks retained for the construction of the proposal. These bricks would then be reused to reface these parapet walls on completion of the works.

The existing railings would also be retained and reused. Where railings are proposed beyond renovation they would be replaced by new ones that match in detail in every respect. The existing

Note:
 The existing light well floor, highlighted in blue, is finished with York stone paving. This would be temporarily removed and retained for the construction period. The paving would then be reinstated on the floor of the proposed glazed light well on completion of the works.

Where additional jobs were required, these would be sourced to match the existing in detail and in every respect.

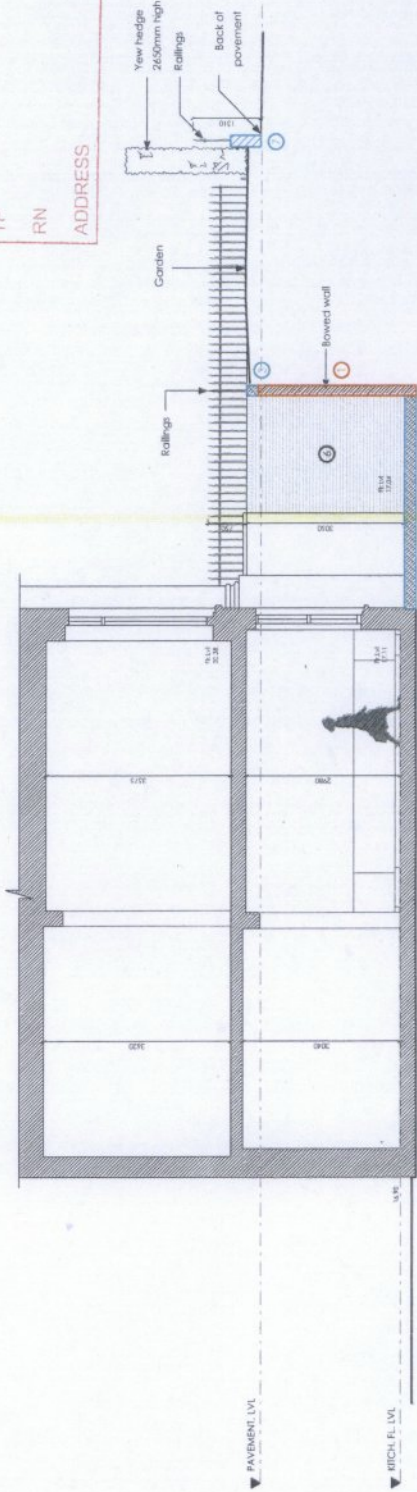
Note:
 The proposal does NOT require the demolition of the party wall. The front garden light well party wall will need to be underpinned.



EXISTING
 Long Section AA

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 ADDRESS



EXISTING
 Section BB

Rev.	Specification	Date	By	Checked
A				
B				
C				
D				
E				
F				
G				
H				

Project:
 10 Warwick Avenue
Location:
 LONDON, UK
Status:
 CONCEPT

Project No.:
 116

Drawing Title:
 EXISTING SECTION AA & BB

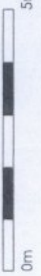
Drawing No.:
 GA 130A

Date:
 07/10/2014

Scale @ A3:
 1:100

Rev:

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All dimensions are in Millimetres, unless otherwise stated.
Drawings for construction. Do not scale from drawings. All work shall be in accordance with the Project Architect's Details and work specifications.

Client

Mike Secretan

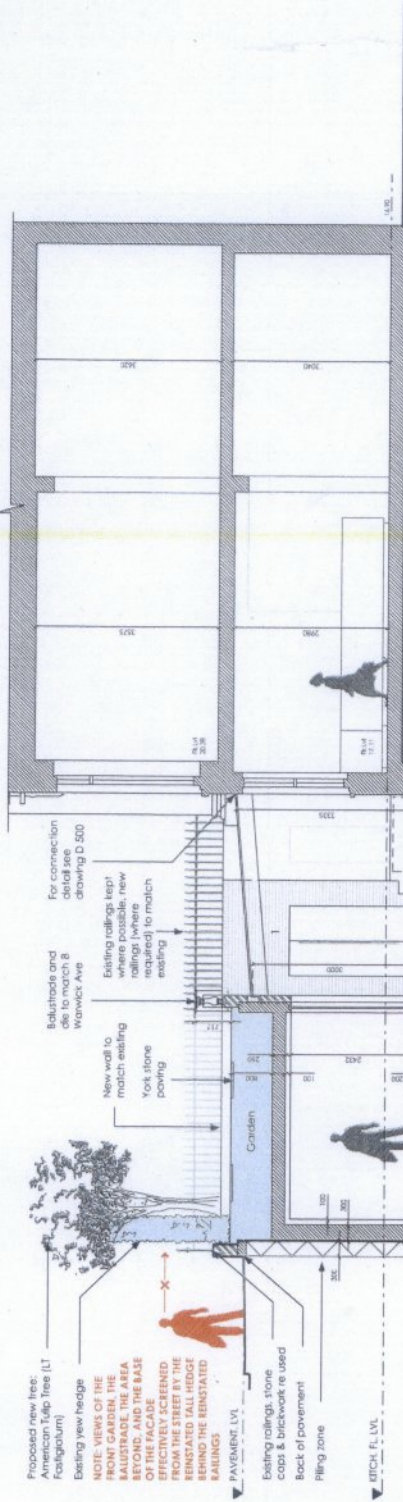
Contact: Mike Secretan
020 7323 2260
msecretan@fourfoursixsix.com

Project Architect

fourfoursixsix

Contact: fourfoursixsix
020 7323 2260
info@fourfoursixsix.com

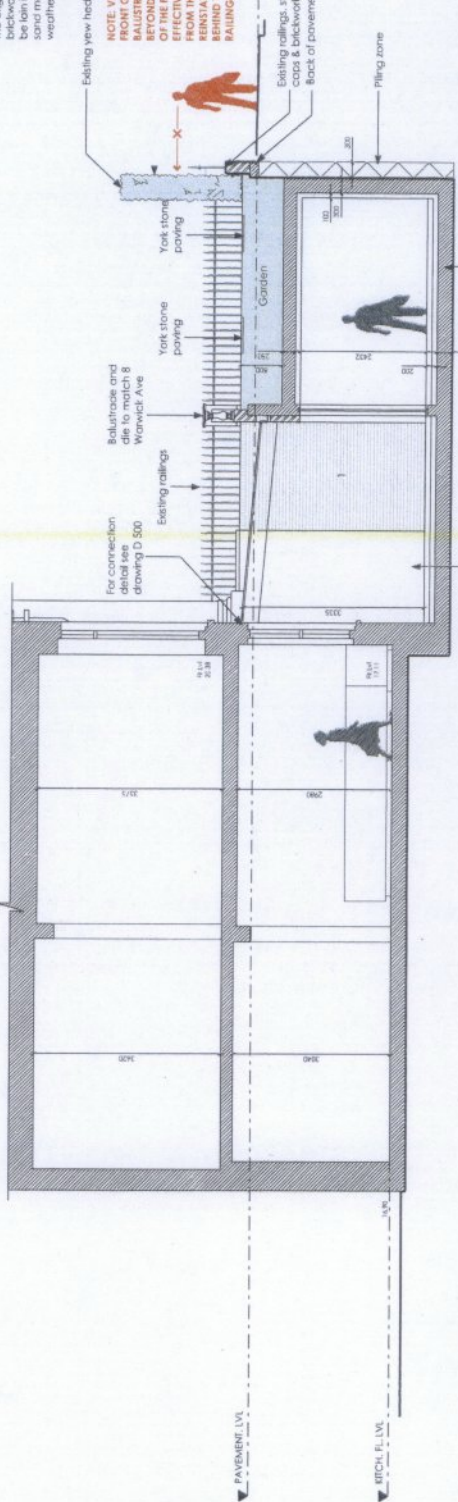
CASE COPY
TP
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ADDRESS



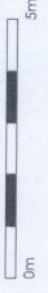
PROPOSED
Section AA

1- New Brickwork:
The reinforced concrete retaining structure within the area is to be faced with brickwork. The brickwork is to be a reclaimed stock brickwork from the original retaining walls in Flemish bond to match the original retaining wall. The brickwork to be laid in cement lime sand mortar with weather struck pointing.

NOTE: VIEWS OF THE BALUSTRADE AND THE AREA BEYOND, AND THE BASE OF THE FACADE BEHIND FROM THE STREET BY THE REINSTATED TALL HEDGE BEHIND THE REINSTATED RAILINGS



PROPOSED
Section BB



No.	Description	Date	By	Checked
A				
B				
C				
D				
E				
F				
G				

Project: 10 Warwick Avenue
Location: LONDON, UK
Status: CONCEPT
Project No.: 116
Drawing Title: PROPOSED SECTION AA & BB
Drawing No.: GA 300

Date: 07/10/2014
Scale: A3
Rev: 1:100
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Client:

Mike Secretan
Contact: Mike Secretan
Phone: 0771 397 322
Email: msecretan@fourfoursixsix.com

Project Architect:

fourfoursixsix
Contact: fourfoursixsix
Phone: 020 7323 2860
Email: enquiries@fourfoursixsix.com

1 Note:
These retaining walls, highlighted in red, would be demolished to allow the excavation and construction of the proposed space.

As many bricks as possible would be retained from their existing walls.

The retained bricks would then be reused to face the proposed concrete retaining structure built in the same location as their existing wall.

The proposed concrete wall would be faced with 1/2 brick thick reclaimed brick from the original retaining wall brickwork. The bricks would be set in cement lime sand mortar with weather sluc/pointing.

2 Note:
The concrete steps highlighted in red would be demolished as the access is not required in the proposed scheme. Access for the proposed space is via the existing lower ground external door.

3 Note:
These parapets, highlighted in blue, are constructed with RW140 bricks. These would be temporarily removed, and the brick replaced for the construction of the proposed wall. These bricks would then be reused to replace their parapet walls on completion of the works.

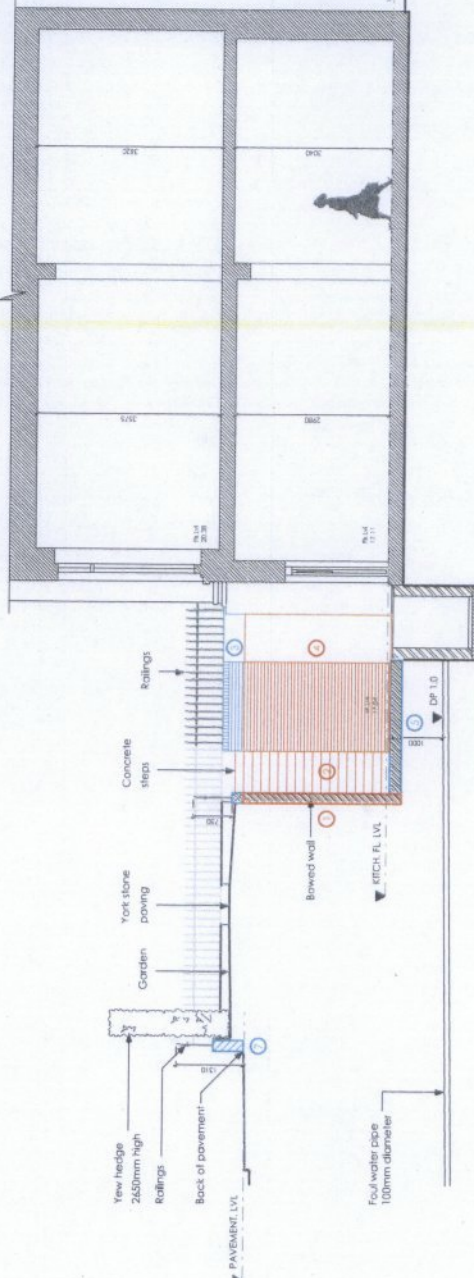
The existing railings would also be retained and reused. Where railings are connected beyond renovation these would be replaced by new ones that match in detail in every respect the existing.

4 Note:
The existing light well floor, highlighted in blue, is finished with York stone paving. This would be temporarily removed and replaced by the construction period. The paving would then be reinstated on the floor of the proposed glazed light well on completion of the works.

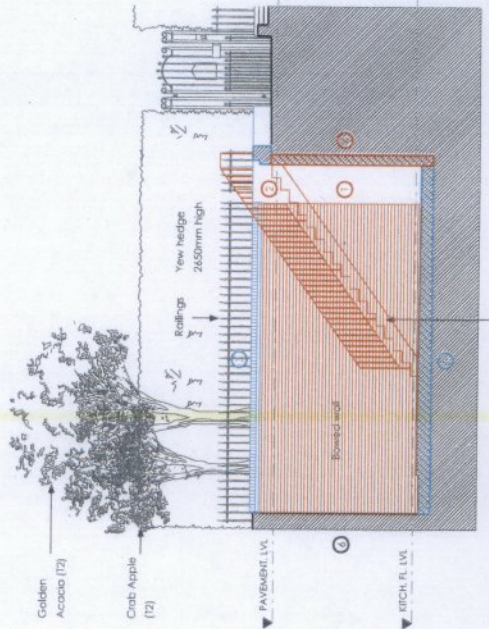
Where additional slabs were required, these would be sourced to match the existing in detail and in every respect.

5 Note:
The proposal does NOT require the demolition of the party wall. The front garden light well party wall will need to be underpinned.

CASE COPY



EXISTING
Long Section DD



EXISTING
Short Section DD

No.	Description	Date	By	Checked
A				
B				
C				
D				
E				
F				
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Project:
10 Warwick Avenue
Location:
LONDON, UK
Status:
CONCEPT
Project No.
116
Drawing Title:
EXISTING SECTION CC & DD
Drawing No.
GA 131A

GA 131A

Date
07/10/2014
Scale @ A3
1:100
Rev
1



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London EC1A 4JF
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Client

Mike Secretan

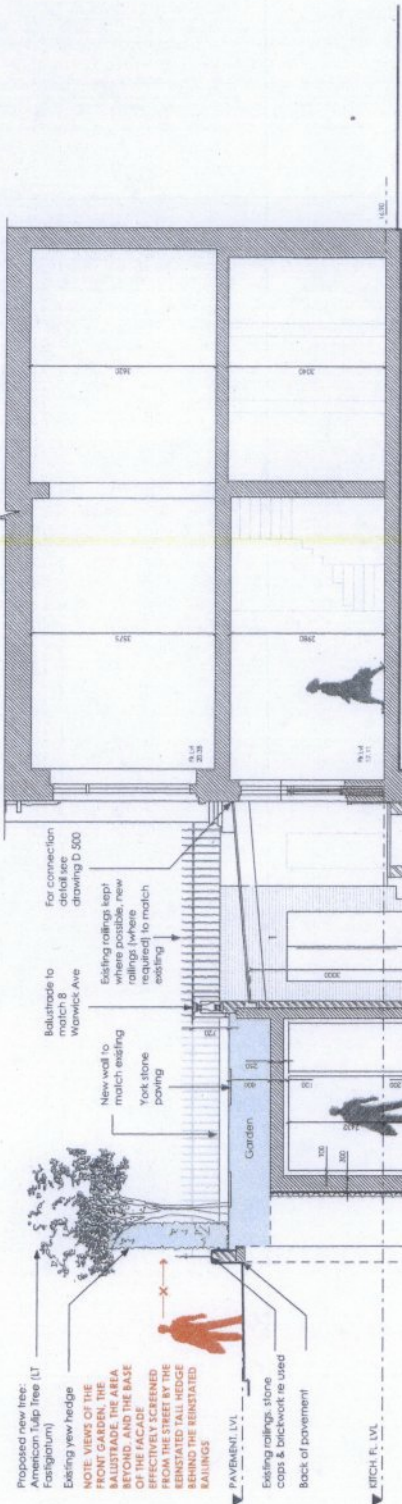
Contact: Mike Secretan
Phone: +44 (0) 20 7322 2665
Email: info@fourfour-sixsix.com

Project Architect

fourfour sixsix

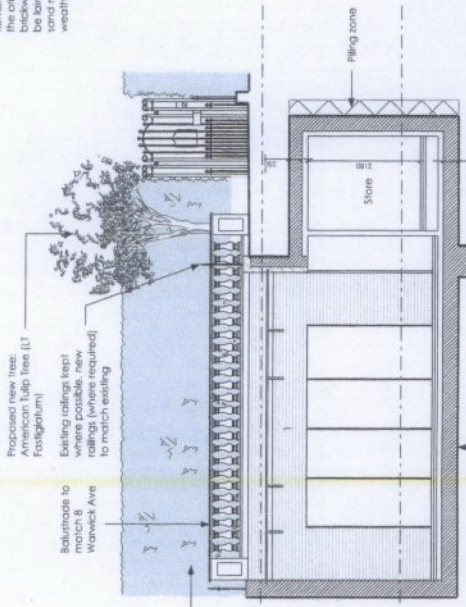
Contact: fourfour sixsix
Phone: +44 (0) 20 7322 2665
Email: info@fourfour-sixsix.com

CASE COPY
TP
RN
ADDRESS



PROPOSED Section CC

1- New Backwork:
The reinforced concrete retaining structure within the garden is replaced with 1/2 brick thick reclaimed stock brickwork from the original retaining wall in the garden. The brickwork is laid in a stretcher bond to match the existing brickwork. The brickwork is to be laid in cement mortar and finished with weather struck pointing.



PROPOSED Short section DD

No.	Description	Date	By	Checked
A				
B				
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G				

Project: 10 Warwick Avenue
Location: LONDON, UK
Status: CONCEPT
Project No.: 116
Drawing Title: PROPOSED SECTION CC & DD
Drawing No.: 01

GA 301

Date: 07/10/2014
Scale: A3
Rev: 1:100
X



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Client

Mike Secretan

Contact: Mike Secretan
m.secretan@fourfoursixsix.com

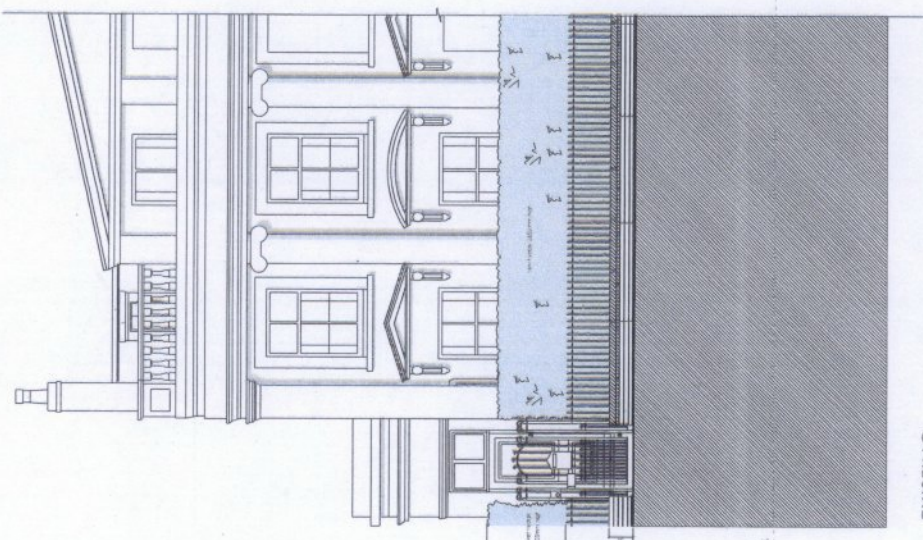
Project Architect

fourfoursixsix

Contact: fourfoursixsix
Tel: (0) 20 7323 1880
Project: m.secretan@fourfoursixsix.com



EXISTING
Section EE



EXISTING
Street Elevation

Rev.	Description	Date	By	Checked
A				
B				
C				
D				
E				
F				
G				

Project: 10 Warwick Avenue
Location: LONDON, UK
Status: CONCEPT
Project No.: 116
Drawing Title: EXISTING STREET ELEVATION & SECTION EE
Drawing No.:

GA 140

Date: 07/10/2014
Scale @ A3: 1:100
Rev:



43 St John Street
London, EC1M 4AN
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London, EC1N 8JF
+44 (0) 20 7497 3000

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Client

Mike Secretan

Contact: Mike Secretan
m.secretan@fourfoursixsix.co.uk

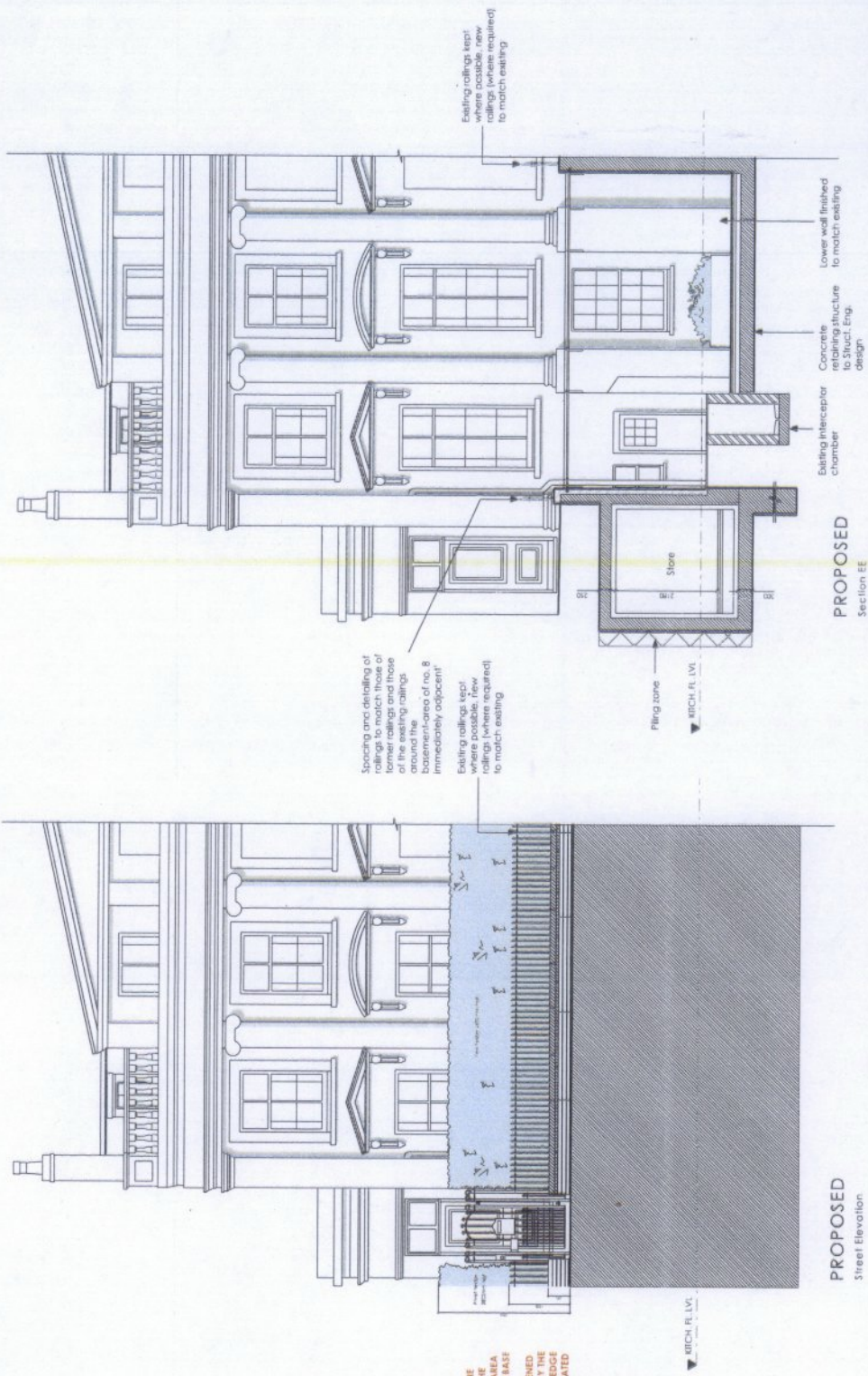
Project Architect

fourfoursixsix

Contact: fourfoursixsix
info@fourfoursixsix.co.uk

CASE COPY

TP
RN
ADDRESS



NOTE: VIEWS OF THE FRONT GARDEN, THE BALUSTRADE, THE AREA BEYOND, AND THE BASE OF THE FACADE BEHIND FROM THE STREET BY THE REINSTATED TALL HEDGE BEHIND THE REINSTATED RAILINGS

PROPOSED
Section EE

PROPOSED
Street Elevation

Rev	Description	Date	By	Checked
A				
B				
C				
D				
E				
F				
G				

Project: 10 Warwick Avenue
Location: LONDON, UK
Status: CONCEPT
Project No.: 116
Drawing Title: PROPOSED STREET ELEVATION & SECTION EE
Drawing No.:

GA 400



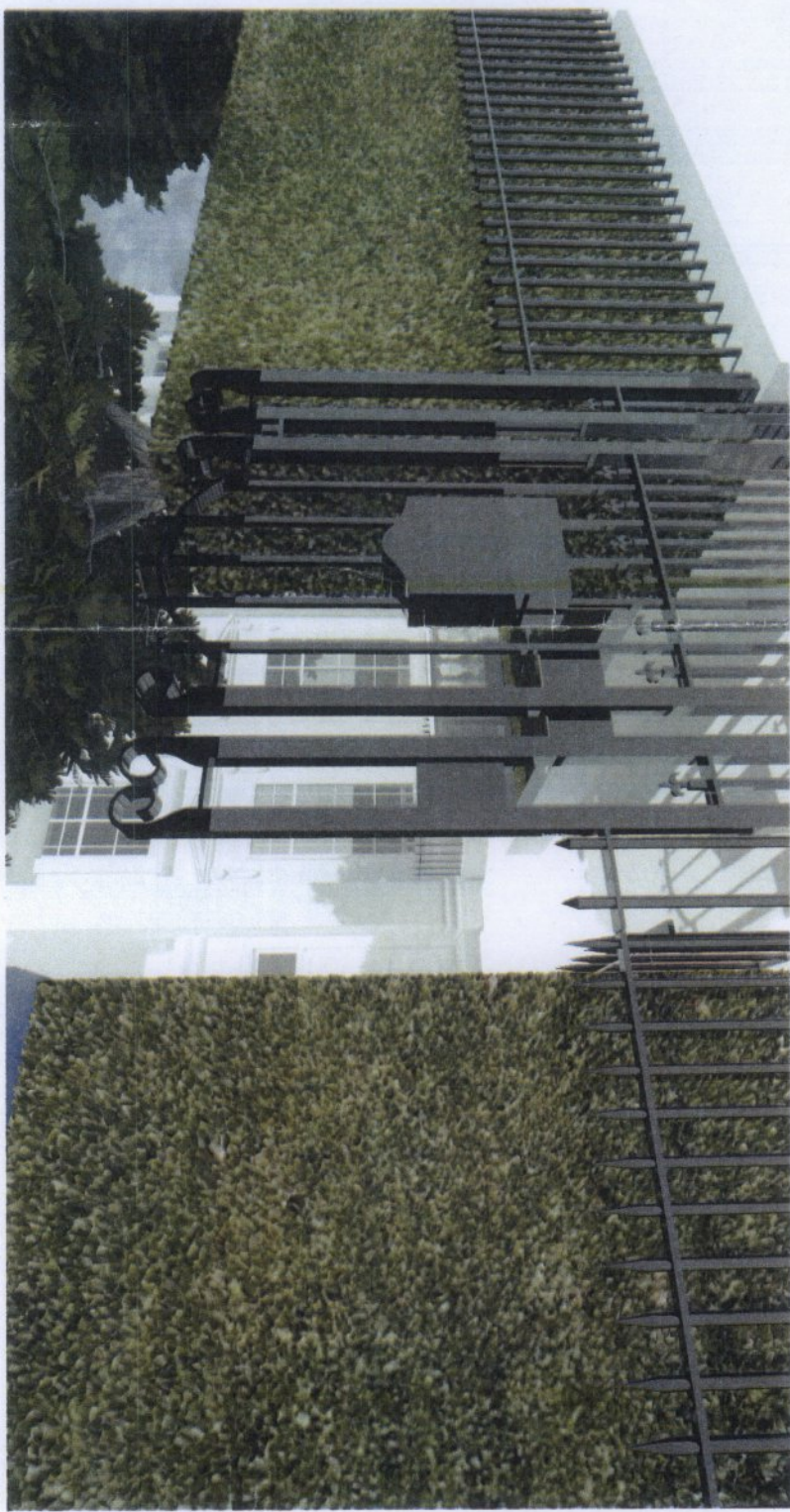
Date	Scale	#	Rev
07/10/2014	1:100	A3	

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Client
Mike Secretan
Director
Tel: +44 (0) 20 7323 2062
Email: msecretan@fourfoursixsix.com

Project Architect
fourfoursixsix
Contact: David Williams
Project Manager
Email: dwilliams@fourfoursixsix.com



CASE COFF
 TP
 RN
 ADDRESS

No.	Description	Date	By	Checked
A				
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E				
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Project: 10 Warwick Avenue
Location: LONDON, UK
Status: CONCEPT
Project No.: 116
Drawing Title: VISUALISATION
Drawing No.: 116

V 800

Date: 07/10/2014
Scale: A3
Rev: N/A

PROPOSED
Visualisation

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Client

Mike Szeletan

Mobile: 0773 352 7362
Tel: 0207 333 2650
Email: mike@fourfoursix.com

Project Architect

fourfoursix

Company: 2007458389
Email: info@fourfoursix.com



PROPOSED
Garden Visualisation

CASE COPY

TP
RN
ADDRESS

Rev	Description	Date	By	Check
A				
B				
C				
D				
E				
F				
G				

Project: 10 Warwick Avenue
 Location: LONDON, UK
 Status: CONCEPT
 Project No.: 116
 Drawing Title: VISUALISATION
 Drawing No.: V 801

Date	Scale	Rev
07/10/2014	A3	
	N/A	